



1530 FIRST STREET SW

FOURTH TO NINTH FLOOR PLAN A-22

1530 FIRST STREET SW WASHINGTON D.C. 20024

Square: 0656 Lot No: 0053 Zone: CG-4



PGN ARCHITECTS, P.L.L.C.  
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 202.822.5995 (P); 202.822.0908 (F)



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 240.683.0300 (P); 240.428.7636 (F)

11/15/2018



KEYPLAN

- 1BD
- 2BD
- 3BD

GROSS FLOOR AREA = 8,238 SF  
 LOT OCCUPANCY = 8,238 / 13,082.24 = 62.97%  
 FAR 7.92



1530 FIRST STREET SW

TENTH FLOOR PLAN A-23

1530 FIRST STREET SW WASHINGTON D.C. 20024

Square: 0656 Lot No: 0053 Zone: CG-4

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11/15/2018



KEYPLAN

- 1BD
- 2BD
- 3BD

GROSS FLOOR AREA = 8,238 SF  
 LOT OCCUPANCY = 8,238 / 13,082.24 = 62.97%  
 FAR 7.92



1530 FIRST STREET SW

TENTH FLOOR PLAN A-23

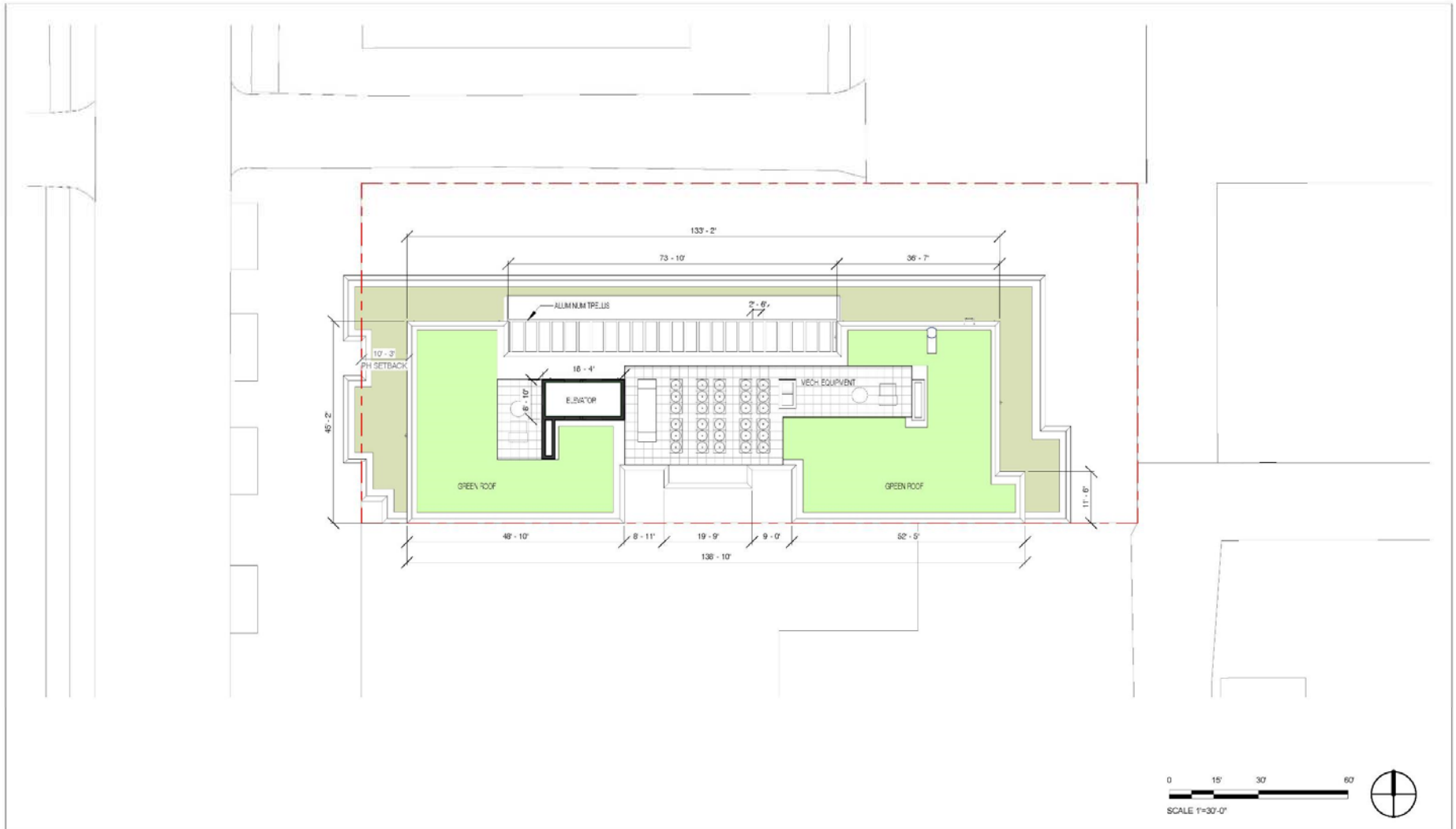
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**1530 FIRST STREET SW**

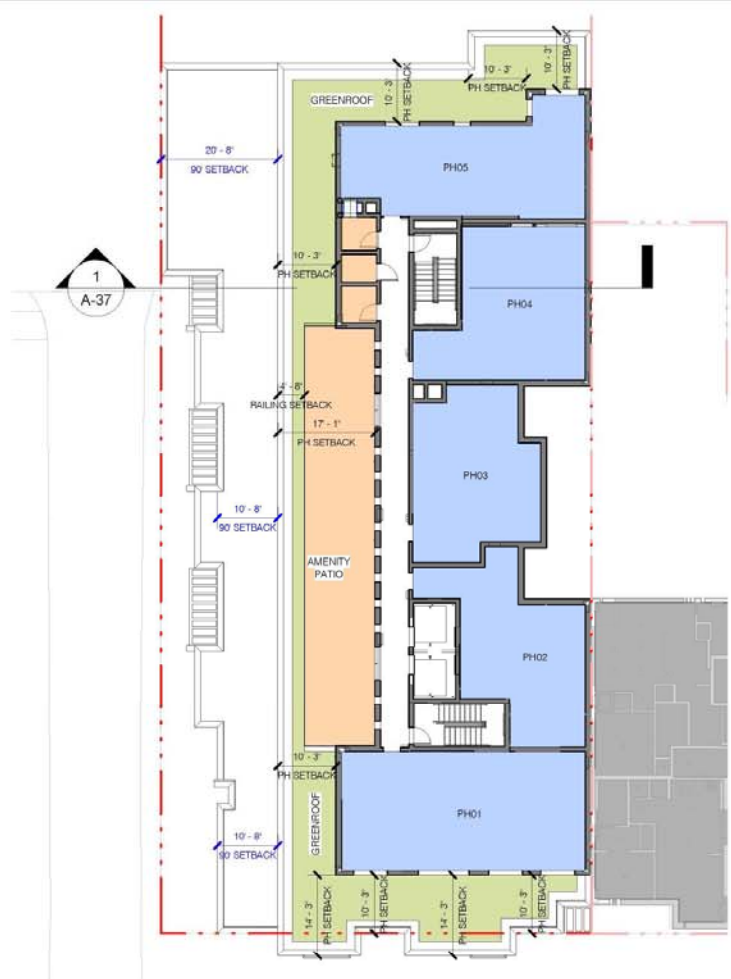
**ROOF FLOOR PLAN A-25**

1530 FIRST STREET SW WASHINGTON D.C. 20024  
 Square: 0656 Lot No: 0053 Zone: CG-4

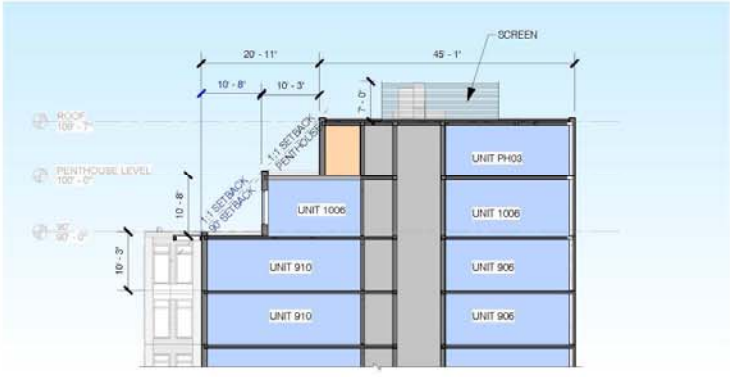
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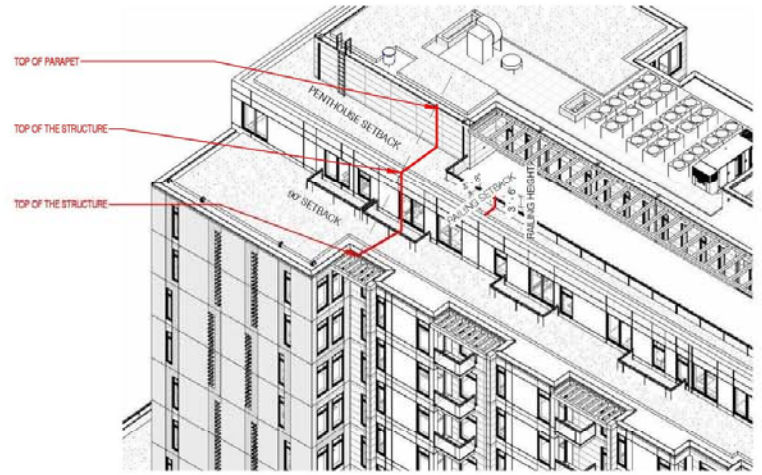
10/25/2018



3 11TH LEVEL - PENTHOUSE EAST SETBACK  
1" = 20'-0"



1 ENLARGED PENTHOUSE - TRANSVERSE SECTION  
1" = 20'-0"



ENLARGED PENTHOUSE ELEVATION A-37

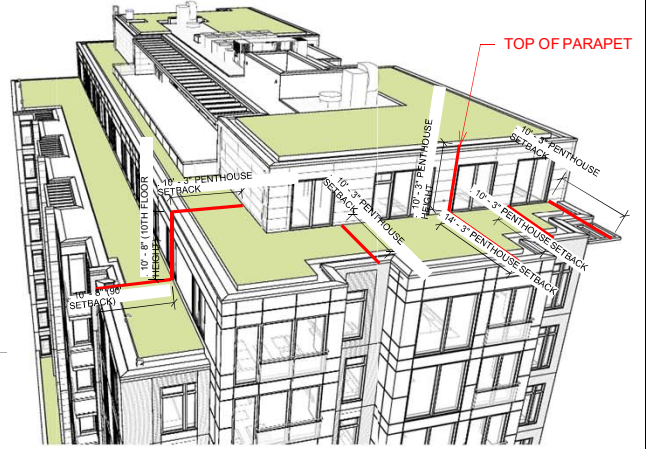
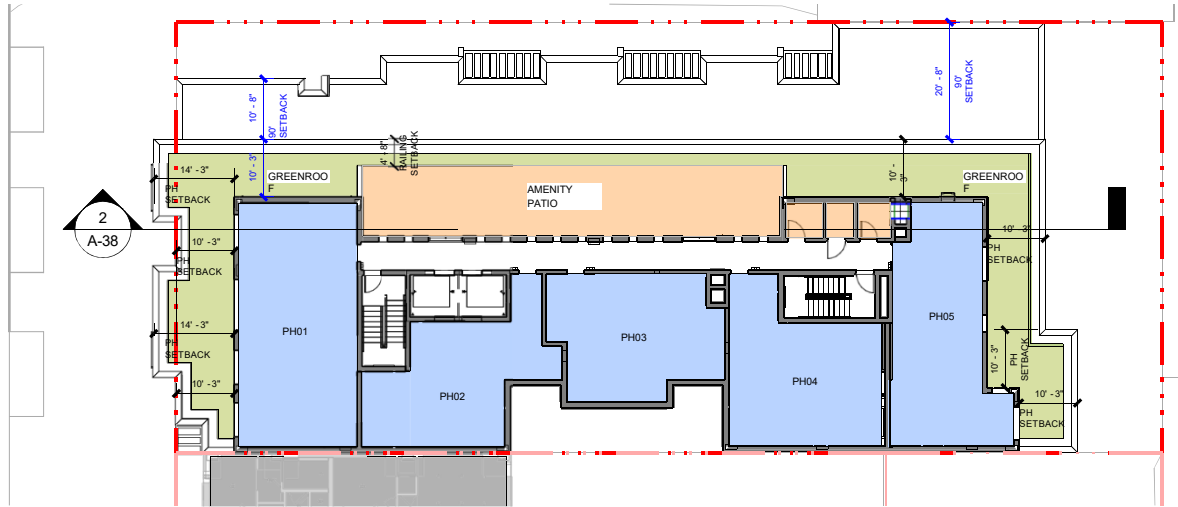
1530 FIRST ST. S.W.

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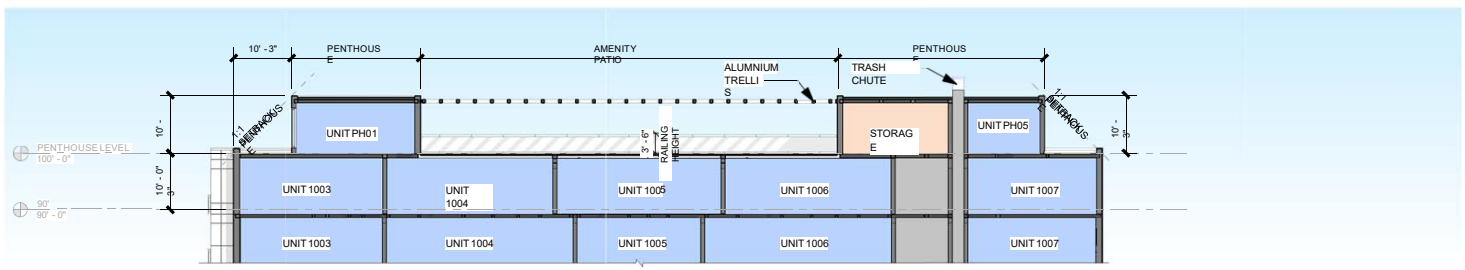
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1 11TH LEVEL - PENTHOUSE EAST / WEST SETBACK  
1" = 20'-0"



2 ENLARGED PENTHOUSE - LONGITUDINAL SECTION  
1" = 20'-0"

1530 FIRST ST.

1530 FIRST ST. S.W. WASHINGTON DC  
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ENLARGED PENTHOUSE  
ELEVATION



A-38  
10/25/201  
8

Square: 0656 Lot No: 0053 Zone: CG-4

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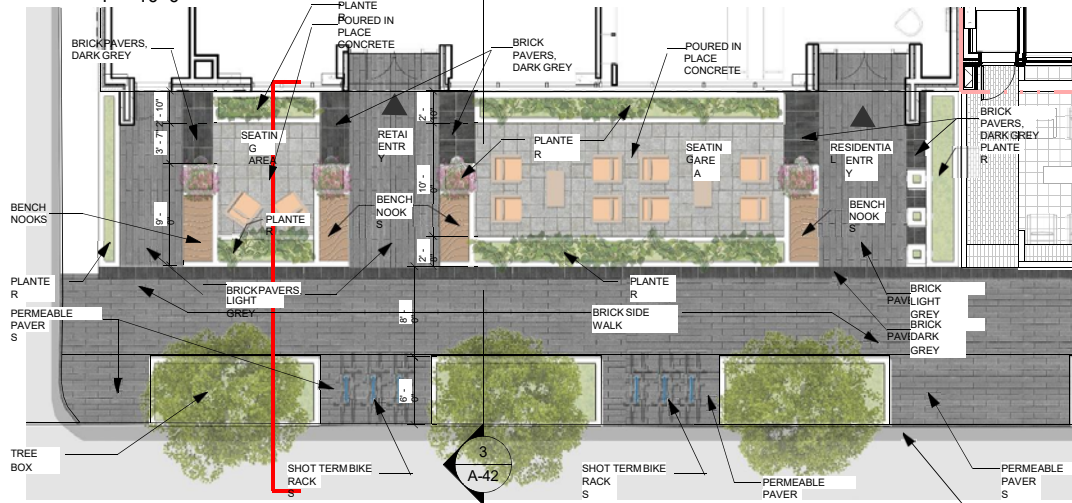
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1 ENLARGED WEST ELEVATION

1" = 10'-0"



2 ENLARGED SIDEWALK - FIRST LEVEL

1" = 10'-0"

Specifications for All Other Streets

- Brick sidewalks, granite curbs, and traditional Washington Globe streetlights create an intimate scale on the narrow 80-85' streets of Buzzard Point.
- Permeable brick pavers between the tree boxes will increase stormwater management efforts.
- Streetscape responds to the ground floor use of buildings, with 10' sidewalks at retail and 8' sidewalks with landscaping at residential buildings or along blank walls.

Buzzard Point Streetscape Guidelines A Coordinated Design for the Streets of Buzzard Point DC Office of Planning and Department of Transportation March 2016

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S.W.  
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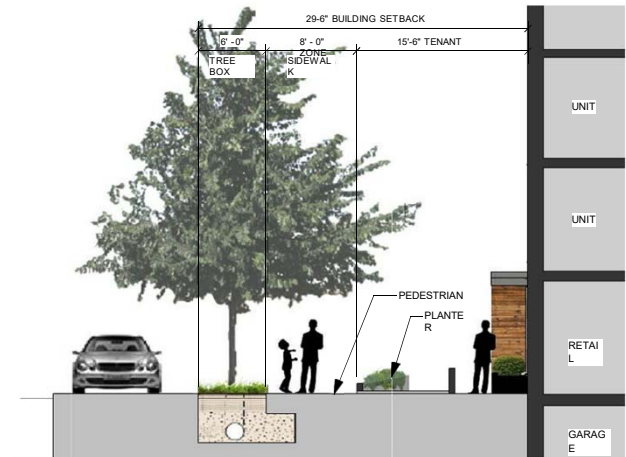


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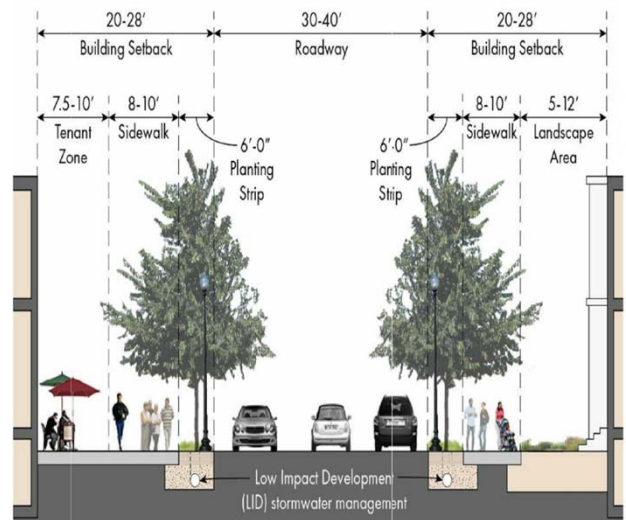
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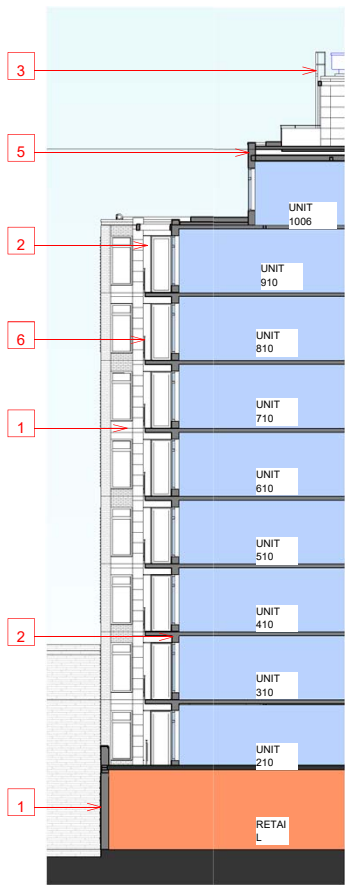
RETAIL

RESIDENTIAL



STREETScape EXPERIENCE - FIRST ST.

A-42  
10/25/2018



1 SECTION  
1/16" = 1'-0"



2 PARTIAL ELEVATION - NORTH  
1/16" = 1'-0"



3 PARTIAL PERSPECTIVE  
1" = 60'-0"



1 RED BRICK



2 IRONSPOT BRICK



3 METAL PANEL



4 WOOD



5 FIBER CEMENT PANEL



6 GLASS BALCONIES

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S.W.  
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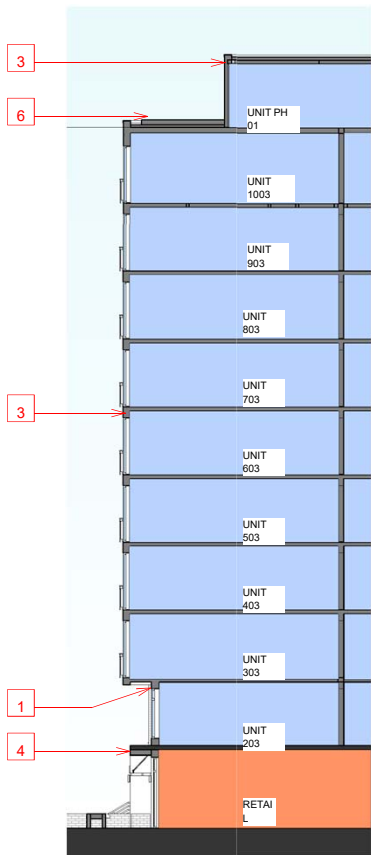


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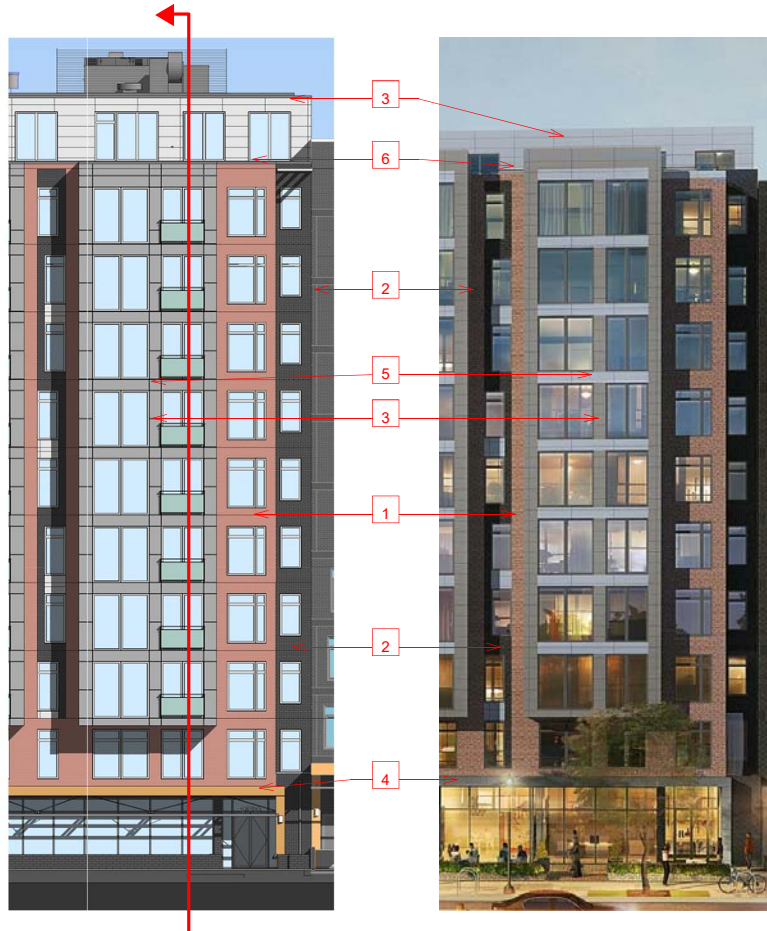
MATERIAL  
DETAILS

A-  
46  
10/25/2011  
8





① BAY SECTION  
1/16" = 1'-0"



② PARTIAL ELEVATION - WEST  
1/16" = 1'-0"



③ PARTIAL BAY PERSPECTIVE  
1/16" = 1'-0"



① RED BRICK



② IRONSPOT BRICK



③ METAL PANEL



④ WOOD



⑤ FIBER CEMENT PANEL



⑥ GLASS BALCONIES

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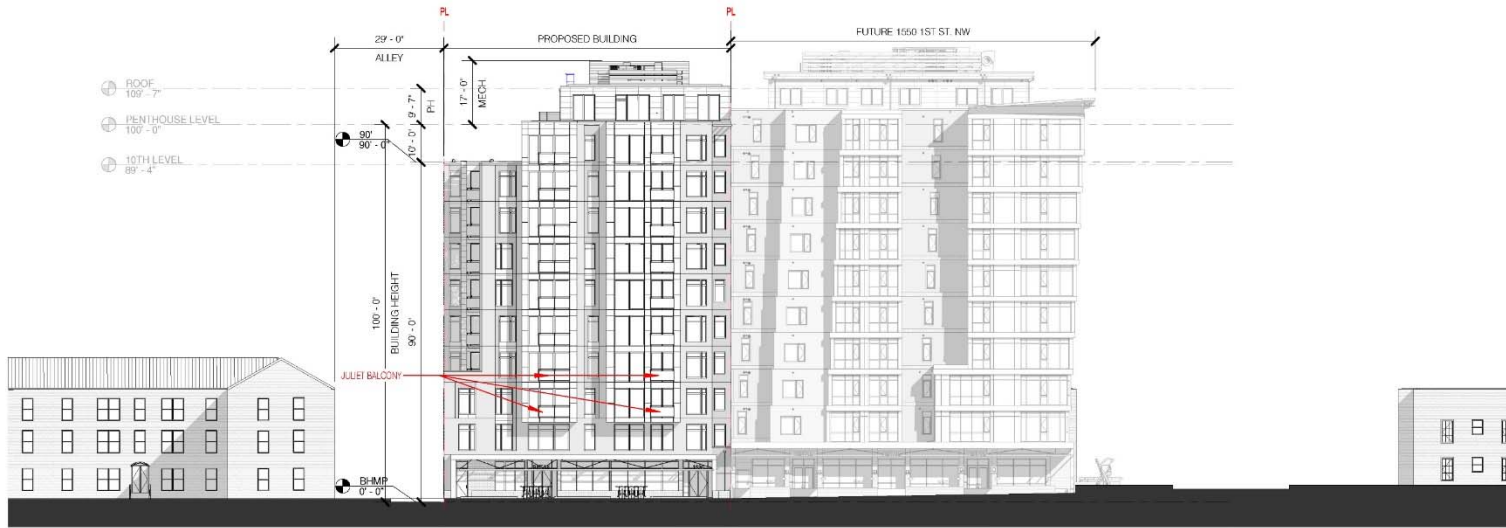
202.822.8996 (P); 202.822.0908 (F)



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240.683.0300 (P); 240.428.7636 (F)

MATERIAL  
DETAILS

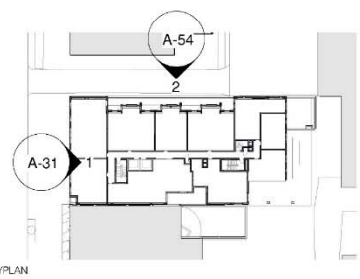
A-  
47  
10/25/2011  
8



② RETAIL SECTION  
1/16" = 1'-0"



③ RETAIL ELEVATION  
1/16" = 1'-0"



KEYPLAN

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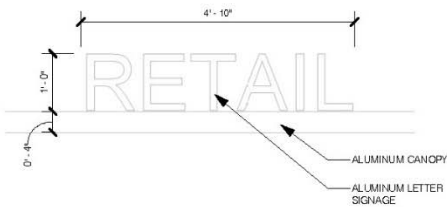
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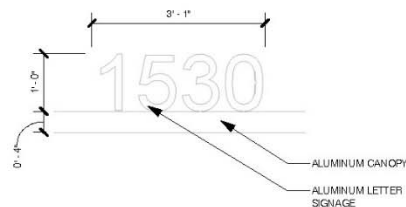
WEST ELEVATION A-31

10/25/2018



① RETAIL SIGNAGE - PROPOSED  
1/2" = 1'-0"

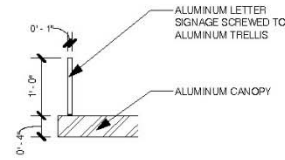
RANGE OF RETAIL SIGN TO RANGE BETWEEN 4 AND 8 FEET.



② RESIDENTIAL SIGNAGE - PROPOSED  
1/2" = 1'-0"

RANGE OF RESIDENTIAL SIGN TO RANGE BETWEEN 4 AND 8 FEET.

CONFIRM NAME WITH OWNER BEFORE FABRICATION.



③ SECTION SIGNAGE  
1/2" = 1'-0"

NO ILLUMINATION PROVIDED



REFERENCE IMAGE FOR SIGNAGE TYPE

1530 FIRST ST. S.W.

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240.888.0300 (P), 240.428.7866 (F)





FIRST STORY SIGN

\*NO SIGNAGE ABOVE FIRST STORY  
(LINEAR FETT X 2)  
76' X 2 = 152 MAX SF

NOTE: ALL SIGNS TO COMPLY WITH  
DC MUNICIPAL REGULATIONS  
SECTION N101.10 AND TITLE  
TITLEE12ASECTION3107\_0.

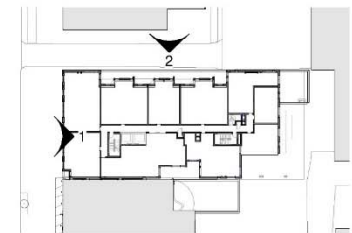
② WEST ELEVATION - RETAIL  
1/16" = 1'-0"



FIRST STORY SIGN

\*NO SIGNAGE ABOVE FIRST STORY  
(LINEAR FETT X 2)  
76' X 2 = 152 MAX SF

NO TYPE D SIGNAGE



① NORTH ELEVATION - RETAIL  
1/16" = 1'-0"

1530 FIRST ST. S.W.

FIRST STORY SIGNS | A-54

1530 FIRST ST. S.W. WASHINGTON DC 20024  
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11/13/18



TYPE A	TYPE B	TYPE C	TYPE D	TYPE E	TYPE F
<p><b>MAIN BUILDING SIGN</b></p> <p><b>DIMENSIONAL LETTERS</b> Dimensional signs, letterforms, and decorative brackets to be pin-mounted and have dimensional returns to give the appearance of solid dimensional material.</p>  <p><b>DOUBLE-SIDED SIGNS</b> Double-sided signs should be appropriately sized and proportional to the surrounding architecture.</p>	<p><b>BLADE SIGN</b></p> <p><b>FREE EDGE PLAQUE</b> Fixed and directly mounted to building.</p>  <p><b>MIXED MATERIALS</b> Custom hanging plaque with layered materials.</p>  <p><b>HANGING SIGN</b> Dimensional or flush lettering.</p>  <p><b>CREATIVE SIGN</b> Three dimensional or in other ways unique.</p> 	<p><b>AWNING</b></p> <p><b>AWNING WITH LOGO</b> Logo to be screen printed to fabric canopy.</p>  <p><b>OPEN OR CLOSED SIDES</b> Only taught valence or no valence permitted.</p> 	<p><b>PAINTED WALLS</b></p>	<p><b>WINDOW SIGN</b></p> <p><b>LOGO</b> Logo and tagline and or information text in white or black only. No advertising copy.</p>  <p><b>POSTER OR BANNERS</b> Inside the tenant space within 3 feet of the storefront should be limited to 50% window coverage.</p>  <p><b>ART AND GRAPHICS</b> Painted or vinyl decal with artistic visuals and interest.</p> 	<p><b>ARCHITECTURAL CANOPY</b></p> <p><b>TOP SIGNAGE</b> Signage or logo mounted on top of canopy.</p>  <p><b>BOTTOM SIGNAGE</b> Signage is mounted to the underside of the canopy.</p> 

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SIGNAGE EXHIBITS | A-55

11/13/18

**ZONING CODE DATA:**

PROJECT ADDRESS 1530 FIRST ST. SW WASHINGTON, DC 20024

SQUARE NO. 0656

LOT NO. 0053

LOT AREA 13,082.24 SF

ZONING DISTRICT: CG-4

ZONING OVERLAY: NONE

HISTORIC AREA SITE: NONE

INCLUSIONARY ZONING: EXEMPT BECAUSE 100% AFFORDABLE PROJECT PURSUANT TO 11 DCMR SUBTITLE § 1001.6.

	PRESCRIBED	PROVIDED
BUILDING HEIGHT	100'-0"	100'-0"
FAR	8.0 (8.0 NON-RESIDENTIAL)	7.92 (103,561 SF)
LOT OCCUPANCY	80% = 10,425.6 SF	80% = 10,425.6 SF RELIEF REQUESTED ON 3RD FLOOR LOT OCCUPANCY 81.80%
STORES	NO LIMIT	10
DWELLING UNITS	NO LIMIT	101
REAR YARD	15' - 0"	20'-10" REQUIRED FOR RESIDENTIAL
SIDE YARD	NOT REQUIRED	NOT PROVIDED
RESIDENTIAL OPEN COURTS(S)	NOT REQUIRED	NOT PROVIDED
RESIDENTIAL CLOSED COURTS(S)	NOT REQUIRED; IF PROVIDED: 4' PER 1' MIN 15' AREA; 2x 30' OF REQUIRED WIDTH; MIN 500 SF	RELIEF REQUESTED
PENTHOUSE	HEIGHT	20' - 0" PENTHOUSE
	SETBACK	1:1 ON ALL WALLS EXCEPT 10' 5" WHERE SIDE WALL ABUTS ZONE OF EQUAL OR GREATER MATTER OF RIGHT HEIGHT 0" WHERE SIDE WALL ABUTS EXISTING WALL
	FAR	MAX 13,082.24 SF ± 0.4 FAR = 5,232 SF HABITABLE SPACE
RESIDENTIAL PARKING	1 FOR EACH 3 DWELLING UNITS COVER 4, 50% REDUCTION = 16 REQ	18
RETAIL PARKING	IN EXCESS OF 3,000 SF, 1.33 FOR 1,000 SF (7,052 - 3,000) / 1,000 * 0.8 = 5	5
RESIDENTIAL BICYCLE PARKING	LONG TERM	1 SPACE FOR EACH 3 UNITS (101/3 = 34)
	SHORT TERM	1 SPACE FOR EACH 20 UNITS (101/20 = 5)
RETAIL BICYCLE PARKING	LONG TERM	1 SPACE FOR EACH 10,000 SF
	SHORT TERM	1 SPACE FOR EACH 3,500 SF (2 REQUIRED)
BAY CALCULATION	SOUTH FACADE	13 + ((76.08 - 24'6")/12) = 39.04
LOADING BERTH	WITH MORE THAN 50 UNITS = 1 @ 30' x 12' MIN 15' CLEAR	RELIEF REQUESTED
LOADING PLATFORM	1 @ 100 SF, MIN 8' WIDE, MIN 14' CLEAR	100 SF, 8' WIDE, 14' CLEAR HEIGHT
DELIVERY SPACE	1 @ 20' x 10', MIN 10' CLEAR	21.5' x 12, 15' CLEAR HEIGHT
GREEN AREA RATIO	0.2	0.2

10/26/18  
1530 First St. S.W.

Floor	Unit 1 SF	Unit 2 SF	Unit 3 SF	Unit 4 SF	Unit 5 SF	Unit 6 SF	Unit 7 SF	Unit 8 SF	Unit 9 SF	Unit 10 SF	Unit 11 SF	Lobby SF	Amenity SF	Retail SF	# of Units	Total Floor Net SF
Garage	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	0	0
First	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	1,058	7,898	N/A	0	8,756
Second	N/A	834	1,164	1,007	700	1,007	783	475	574	941	N/A	N/A	1,318	N/A	9	8,803
Third	595	912	1,223	1,007	700	1,007	783	475	3,120	735	791	N/A	N/A	N/A	11	9,348
Fourth	595	596	1,261	1,006	700	1,007	783	475	1,115	733	792	N/A	N/A	N/A	11	9,083
Fifth	595	596	1,261	1,006	700	1,007	783	475	1,115	733	792	N/A	N/A	N/A	11	9,063
Sixth	595	596	1,261	1,006	700	1,007	783	475	1,115	733	792	N/A	N/A	N/A	11	9,063
Seventh	595	596	1,261	1,006	700	1,007	783	475	1,115	733	792	N/A	N/A	N/A	11	9,063
Eighth	595	596	1,261	1,006	700	1,007	783	475	1,115	733	792	N/A	N/A	N/A	11	9,063
Ninth	595	596	1,261	1,006	700	1,007	783	475	1,115	733	792	N/A	N/A	N/A	11	9,063
Tenth	595	596	986	524	525	522	531	1,121	735	792	N/A	N/A	N/A	N/A	10	6,927
Penthouse	994	684	668	733	816	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	5	3,875
Total # Of Units															101	
Total Building Net SF																92,087
	1 BR	46	46%	2 BR	37	37%	3 BR	10	10%	4 BR	8	8%				

\*SF measured from outside of exterior wall, center line of demising walls, inside face of corridor walls. Does not include balconies.

Type A units 308, 508, 608, 708, 808, 908, 1007, 411, 611, 811, 709  
UEAS units 210, 408, 308, 503, 703

\*FAR calc does not include bays

FAR Calcs		
Floor	FAR	LOT OCCUPANCY
First	11,831	90.44%
Second	10,277	78.56%
Third	10,701	81.80%
Fourth	10,419	79.64%
Fifth	10,419	79.64%
Sixth	10,419	79.64%
Seventh	10,419	79.64%
Eighth	10,419	79.64%
Ninth	10,419	79.64%
Tenth	8,238	62.97%
Penthouse	5,212	39.84%
<b>Total GFA</b>	<b>103,561</b>	

Lot Area	13082.24
FAR	7.92
PH FAR	0.40

1530 FIRST ST. S.W.

ZONING INFORMATION AND UNIT MATRIX A-50

1530 FIRST ST. S.W. WASHINGTON DC 20024

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11/15/2018



# 1530 1<sup>st</sup> Street SW

## Design Review Application

### Transportation Presentation

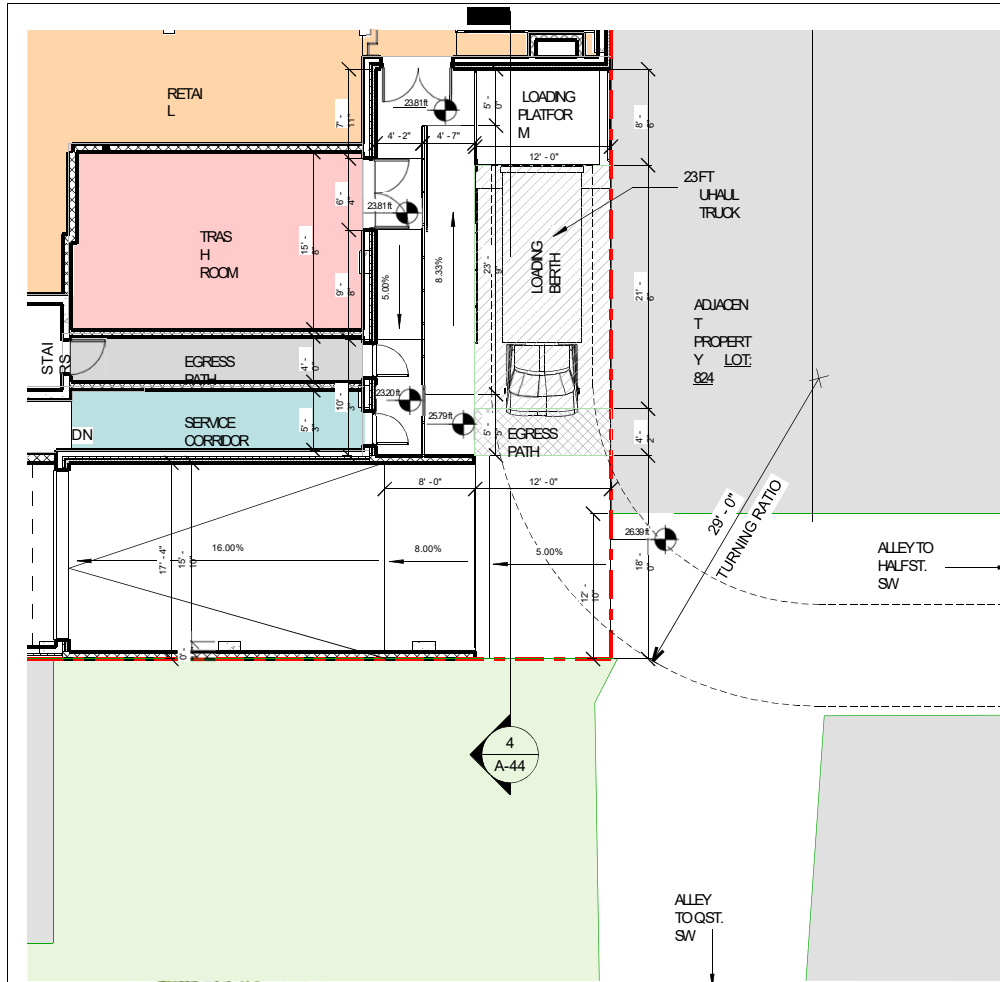


# Project Transportation Characteristics

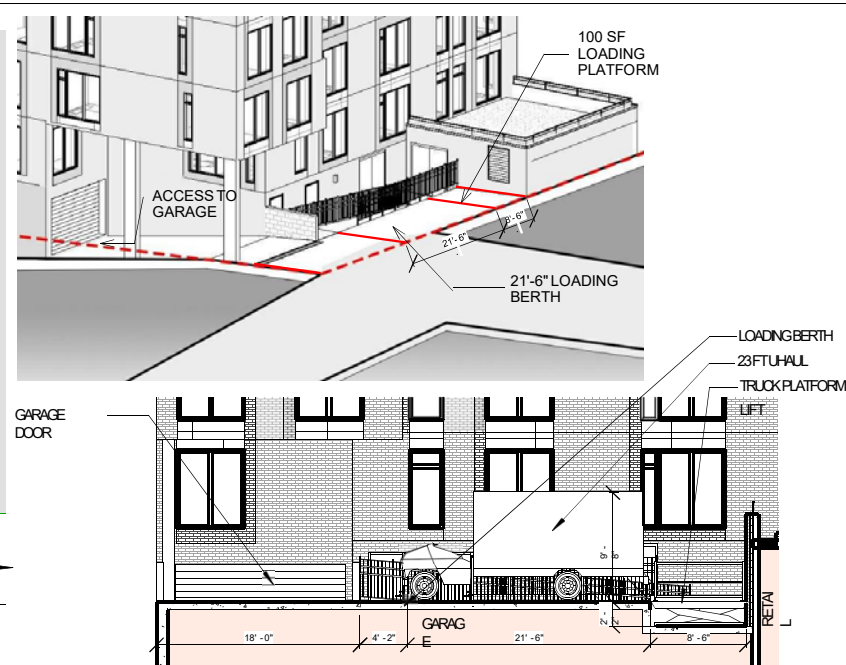
- Proximity to transit and alternative travel modes:
  - Nearby Waterfront and Navy Yard Metrorail Station (0.5 miles away)
  - 11 Nearby Bus Lines
  - 6 Nearby Capital Bikeshare stations & 9 nearby Carshare vehicles
  - Site has Walkscore of 73 “Very Walkable” and TransitScore of 57 “Good Transit”
- Implementation of Comprehensive Transportation Demand Management (TDM) Plan
- Adequate on-site parking & loading provisions
  - 21 parking spaces required; 23 parking spaces proposed
  - Residential and Retail Loading proposed in loading zone adjacent to the parking garage entrance



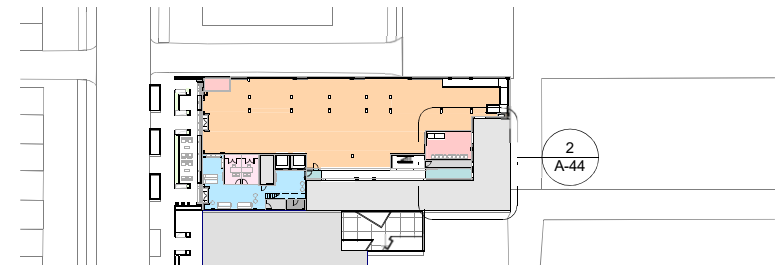




1 ENLARGED GARAGE RAMP  
1" = 10'-0"



4 LOADING BERTH / PLATFORM SECTION  
1" = 10'-0"



3 KEYPLAN  
1/64" = 1'-0"

1530 FIRST STREET

SW  
1530 FIRST STREET SW WASHINGTON D.C.  
20024

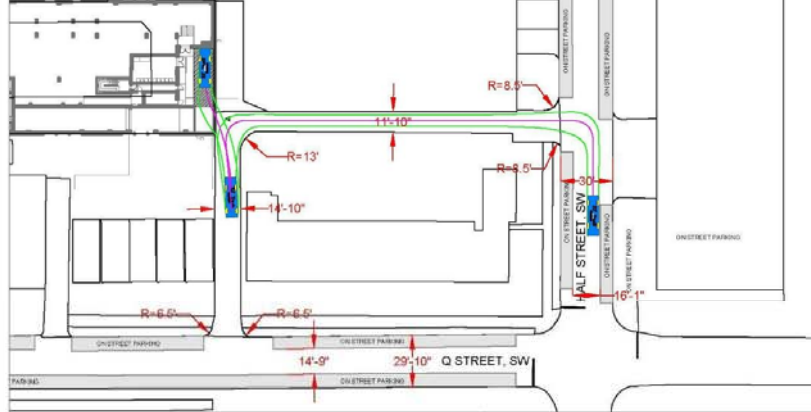
Square 0656 Lot No: 0053 Zone: CG-4

**P&G**  
ARCHITECTS  
PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite  
201 Washington, DC  
20003  
202.822.8996 (P); 202.822.0908  
(F)

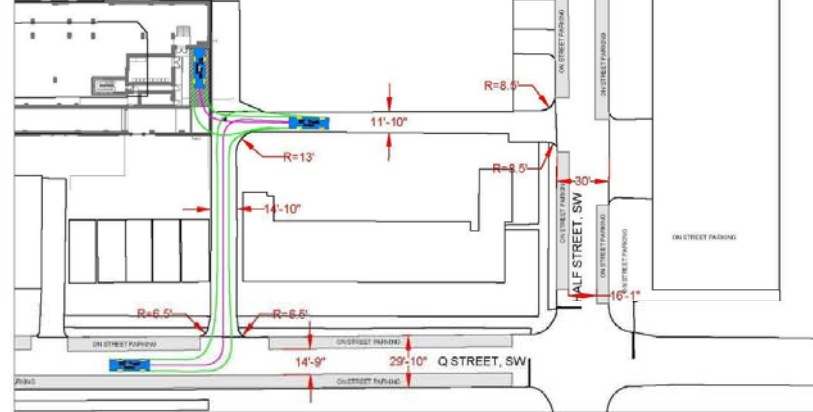
**TM Associates Inc.**  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636  
(F)

ENLARGE GARAGE RAMP  
A-44  
10/25/201  
8

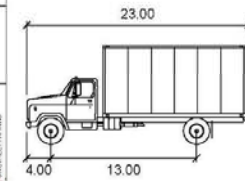
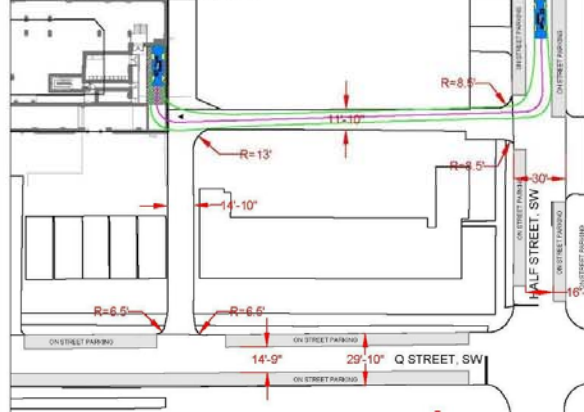
**Inbound from Half St, SW**



**Inbound from Q Street**



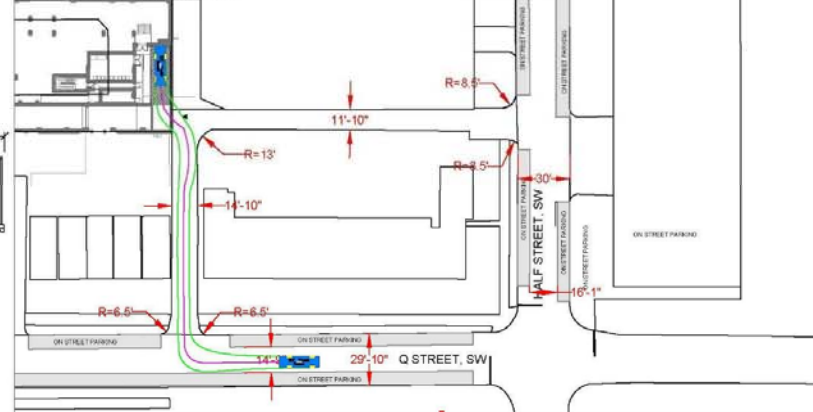
**Outbound to Half St, SW**



**23' Truck**

	feet
Width	6.54
Track	6.54
Lock to Lock Time	6.0
Steering Angle	47.4

**Outbound to Q Street**



**GOROVE / SLADE**  
Transportation Planners and Engineers

**Loading Movements: Analysis Vehicle: SU-23**  
1530 First Street, SW  
September 29, 2018

Southwest, Washington, DC



P:\17301-2354-1530 First Street SW\AutoTURN\1530 1st Street SW\AutoTURN.dwg - 9/27/2018 5:45 PM

1530 FIRST ST.

S.W. 1530 FIRST ST. S.W. WASHINGTON DC 20024

Square 0656 Lot No: 0053 Zone: CG-4

LOADING DOCK TURNING  
DIAGRAM

A-45  
10/25/201  
8



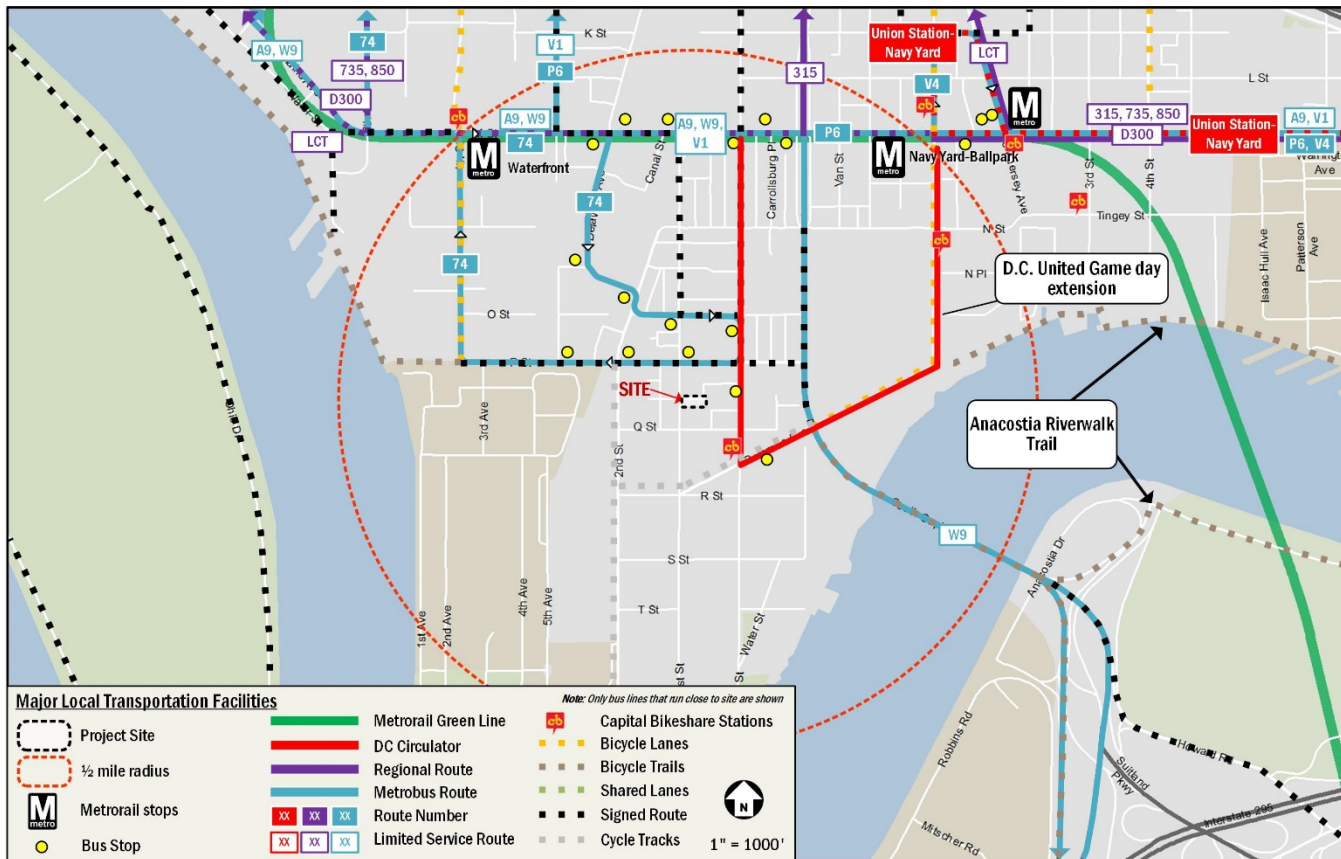
P&G ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)



TM ASSOCIATES INC.  
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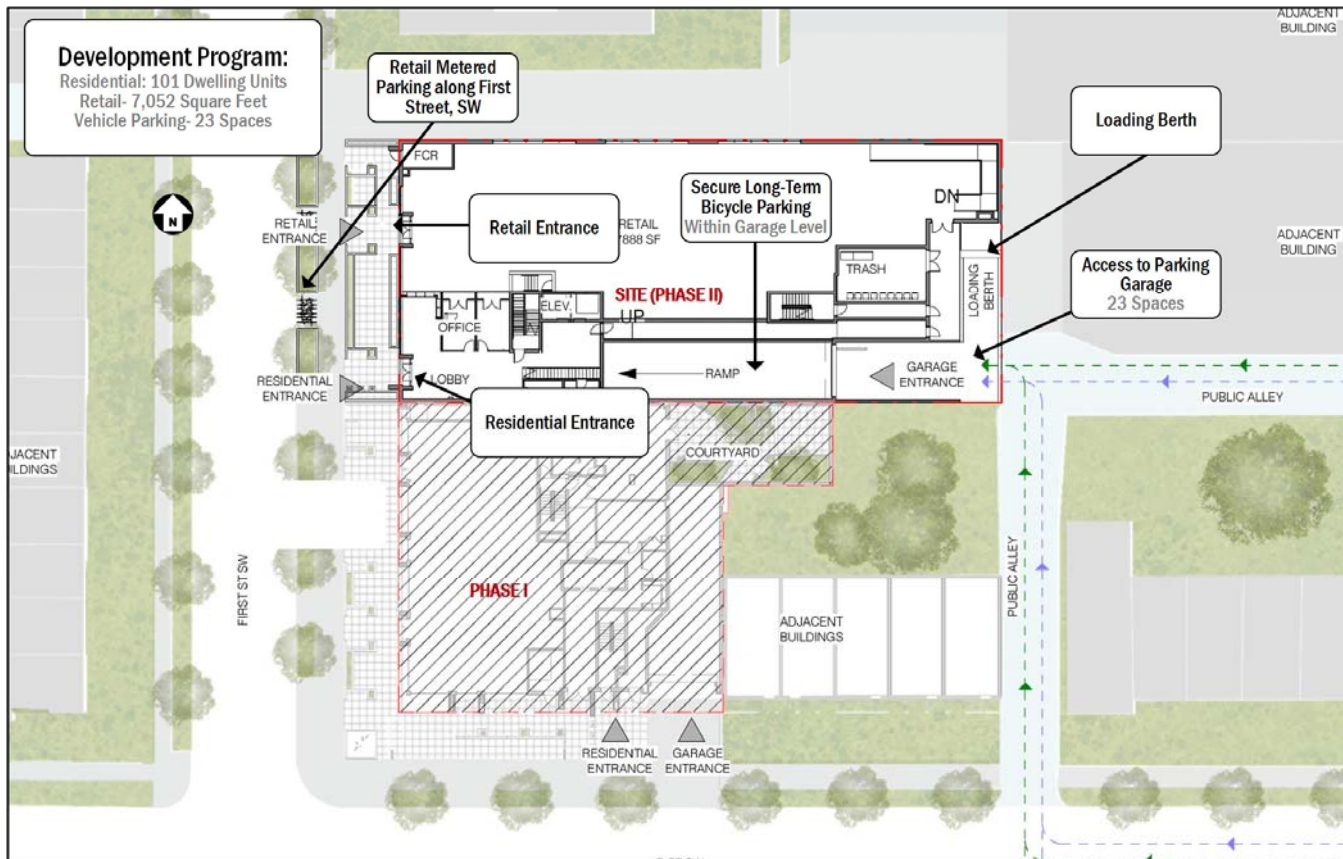


# Existing Transportation Facilities





# Proposed Site Plan



# Loading Management Plan

- Designate loading manager
- Trucks utilizing the loading area restricted to 23 feet. Longer trucks will utilize the metered spaces on First Street.
- Trash pick-ups, deliveries, and residential move-ins/move-outs scheduled with loading manager
- Loading manager ensure that trucks accessing the loading dock do not block alley activity
- Prohibit residential move-in/move-outs within three (3) hours of a scheduled event at Audi Field or at least 10,000 attendees
- No truck idling and must follow all District guidelines for heavy vehicle operation
- Distribute and post DDOT's Freight Management and Commercial Vehicle Operations document to drivers as needed

**4 loading trips anticipated per day**



# Traffic Demand Management (TDM) Elements

- Identify TDM leader to work with residents of the development
- Work with DDOT and goDCgo to implement TDM measures
- Provide TDM materials to new residents in the Residential Welcome Package materials
- Provide 45 long-term bicycle spaces and 8 short-term bicycle spaces
- Price on-site parking at market rates
- Unbundle parking from the cost of each residential lease
- Provide each unit's incoming residents with an \$100 SmarTrip card for the first year of occupancy
- Offer residents annual carshare or Capital Bikeshare membership for 3 years
- Provide a bicycle repair station in the bicycle storage room
- Provide an on-site business center for residents
- Install a Transit Information Center Display within the residential lobby
- Provide at least two (2) shopping carts for residential use



# DDOT Conditions

Based on DDOT's review, **the Applicant agrees** to the following DDOT conditions:

- Implement the Transportation Demand Management (TDM) Plan as proposed by the Applicant in the September 27 ,2018 CTR for the life of the project, unless otherwise noted, with the following revisions:
  - Work with DDOT and goDCgo, DDOT's TDM program, to implement TDM measures at the site;
  - Share the full contact information of the TDM coordinator for the site with DDOT and goDCgo;
  - Provide at least two (2) shopping carts for residential use; and
  - Offer residents either an annual carshare or Capital Bikeshare membership for a period of three (3) years.





## DDOT Conditions (continued)

Based on DDOT's review, **the Applicant agrees** to the following DDOT conditions:

- Implement the Loading Management Plan as proposed by the Applicant in the September 27, 2018 CTR for the life of the project with the following revisions:
  - Schedule deliveries such that the dock's capacity is not exceeded. In the event that an unscheduled delivery vehicle arrives while the dock is full, that driver will be directed to return at a later time when a berth will be available so as to compromise safety or impede street or intersection function;
  - Schedule residential loading activities so as not to conflict with retail deliveries. All residential loading will need to be scheduled with the dock manager;
  - Monitor inbound and outbound truck maneuvers and will ensure that trucks accessing the loading dock do not block vehicular, bike, or pedestrian traffic except during those times when a truck is actively entering or exiting a loading berth; and
  - Prohibit the scheduling of residential move-in/move-outs within three (3) hours of a scheduled event at Audi Field or at least 10,000 attendees.
- Install at least one (1) electric vehicle charging station in the parking garage.

